

## Development Notice – Variance Application

### Summary

The owner of the properties at 507 and 509 3a Avenue NW in Nakusp has applied to build a duplex across both lots. To do this, they have asked Council for a variance to remove the usual setback (building distance) requirement between the two properties.

You can view the full application at the Village Office, 91 1st Ave NW, Nakusp, during regular public hours from now until June 18, 2026. It will also be posted online under *Public Notices* on the [www.nakusp.com](http://www.nakusp.com) homepage.

### **Purpose of the Variance Application:**

To allow for a duplex to be built with the common wall between the dwelling units and situated along the property line between both parcels.

### **Proposed Condition:**

That a binding 'Party Wall Agreement' be applied to the Title of each property with the Land Title and Survey Authority of British Columbia. This will allow for each parcel and half of the duplex to be owned separately.

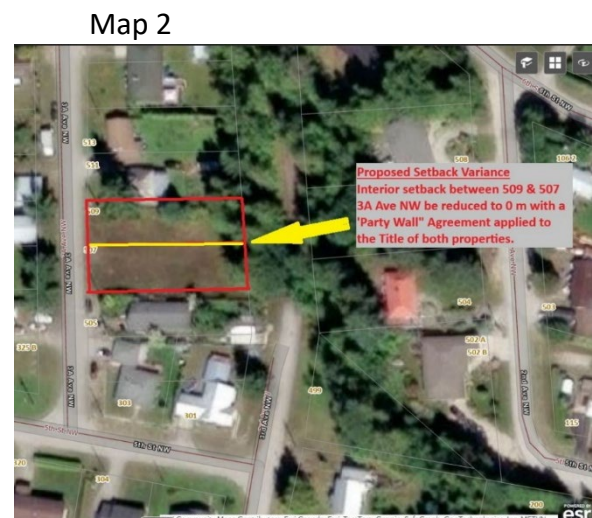
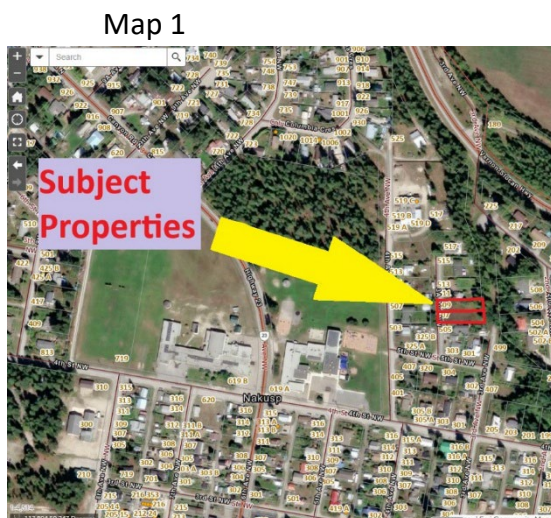
### **Public Participation Details:**

Council will be considering this application at the Regular Meeting of Council on **Monday, June 22, 2026, at 6:30 pm, in the Emergency Services buildings (300 – 8<sup>th</sup> Ave NW).**

**This is not a public hearing.**

**Map 1: Shows the location of the properties (North is top of map)**

**Map 2: Showing the Lot Line with Setbacks to be Adjusted**



# Planning & Development Approval Application

## Village of Nakusp

91 – 1<sup>st</sup> Street NW, PO Box 280, Nakusp B.C., V0G 1R0

Telephone: (250) 265-3689 Fax: (250) 265-3788 Email: [info@nakusp.com](mailto:info@nakusp.com) Website: [www.nakusp.com](http://www.nakusp.com)



**PLEASE NOTE:** A pre-development meeting with Village of Nakusp Staff is required to ensure the required application is completed correctly and all supporting documents are included with the application. Meetings can be arranged virtually, by phone, or in person. The checklist in the application has details of what is required for each application. Please contact the Village at **250 265-3689** or [info@nakusp.com](mailto:info@nakusp.com) to arrange a project information / pre-development meeting.

### PART 1. NATURE OF APPLICATION

<b>Application Type</b> <i>Check all that apply</i>	
<input type="checkbox"/> Official Community Plan Amendment (OCP)	<input checked="" type="checkbox"/> Development Variance Permit (major over \$10,000)
<input checked="" type="checkbox"/> Zoning Bylaw Amendment	<input type="checkbox"/> Development Variance Permit (minor under \$10,000)
<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Development Permit (major over \$25,000)
<input type="checkbox"/> Strata Title Conversion	<input type="checkbox"/> Development Permit (minor under \$25,000)

### PART 2. LAND DEVELOPMENT INFORMATION

Civic Address of Property (under application) <b>#507 3A Ave Nakusp V0G 1R1</b>	Date of Application <b>29 April 2026</b>
Legal Description of Property (under application) <b>#509 3A Ave Nakusp V0G 1R1</b>	
PID of Property (under application) <b>013-161-628 and 013-161-697</b>	

### PART 3. REGISTERED OWNER/APPLICANT/AGENT

<b>Registered Owner:</b> Last Name <b>Snowcreek Building Design</b>	First Name: <b>Brian</b>	Phone Number: [REDACTED]
Email Address: [REDACTED]	Mailing Address: [REDACTED] Nakusp BC, V0G 1R1	
Signature of Registered Owner: [REDACTED]		

### APPLICANT

<b>Applicant:</b> Last Name <b>Sutherland</b>	First Name: <b>Brian</b>	Phone Number: [REDACTED]
Email Address: [REDACTED]	Mailing Address: [REDACTED] Nakusp, BC V0G 1R1	
Signature of Applicant: [REDACTED]		
Signature of Registered Owner: [REDACTED]		

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AGENT AUTHORIZATION (if applicable)		
Agent: Last Name	First Name:	Phone Number:
Email Address	Mailing Address:	
AGENT AUTHORIZATION DECLARATION		
I, _____ (name of agent) solemnly declare that I am the Authorized Agent for _____ (owner(s) of property), who is the registered owner(s) of the real property legally described as: _____		
_____	_____	
Name of Agent	Signature of Agent	
_____	_____	
Name of All Registered Owners	Signature of All Registered Owners	

PART 4. DEVELOPMENT INFORMATION			
Current Official Community Plan Designation <b>Neighbourhood Core</b>		Proposed Official Community Plan Designation: <b>no change</b>	
Current Zoning Designation: <b>R2</b>		Proposed Zoning Designation: <b>no change</b>	
ALR: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Watercourse: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Steep Slope: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Description of Existing Land Use: <b>flat vacant lots beside each other, 50x170 each</b>			
Description of Proposed Land Use: <b>construct duplex, the units dividing wall will be located on the property line separating the 2 units</b>			
Requested Variance/Exemption <b>zero clearance at the property line in the middle which separates the 2 units.</b>			

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**Instructions for Application Type:** Village of Nakusp staff will determine and advise which documents are required to complete this application. Please contact the Village at **250 265-3689** or [info@nakusp.com](mailto:info@nakusp.com) to arrange a pre-development meeting.

Part 5. Application Type and Documentation Requirements		Submission Requirements (not a full list)
Official Community Plan Bylaw Amendment		B, C, D, E, G, H,
Zoning Bylaw Amendment		B, C, D, E, F, G
Development Permit (Major)	Development Permit (Minor)	B, C, D, F, G, H, I, J, K, L, M, N, O, P, Q, R
Development Variance Permit (Minor)	Development Variance Permit (Minor)	B, C, D, F, G, H, I, J, L, M, P
Temporary Use Permit		B, C, D, F, G, H, K, L, M, N, O, P
Strata Title Conversion		B, C, D, F, G, H

Documentation	Details	Required
A. Pre-Development Meeting	Have you had your pre-development meeting? If not, contact Village Staff at 250-265-3689 or <a href="mailto:info@nakusp.com">info@nakusp.com</a> to arrange a meeting before proceeding. Staff will assist in the completion of Section I of this form. In planning your project, it is suggested you review RDCK sustainability checklists: <a href="#">Residential Sustainability Checklist</a> or <a href="#">Commercial Sustainability Checklist</a>	<input type="checkbox"/>
B. Completed Application Form	All forms must be submitted in person or electronically to <a href="mailto:info@nakusp.com">info@nakusp.com</a> . Incomplete applications will delay review of your application.	<input checked="" type="checkbox"/>
C. Application Fee <small>Paid \$1000 29 April 2026</small>	Application fees are set out as Schedule 15 of the Village's Fees and Charges Bylaw 693 as amended from time to time. Applicable fees to be paid at the time of application.	<input checked="" type="checkbox"/>
D. Title Certificate showing Charges on Title	Must be printed within the last 30 days of application date. Titles and related documents can be obtained from Itsa.ca or through a lawyer, notary, or search company. Titles may also be provided by the Village for a fee. All development is subject to comply with any right of ways, easements, covenants or other charges on Title.	<input checked="" type="checkbox"/>
E. Agent Authorization	Written consent of all property owners, with one or more owners appointing an applicant to act as an agent for all purposes of the application. <b>(if applicable)</b>	<input checked="" type="checkbox"/>
F. Provincial Site Profile	Required for any development proposal on lands that may have been contaminated during past or current commercial or industrial activity. (See <a href="#">BC Contaminated Sites Regulation</a> )	<input checked="" type="checkbox"/>

Section F not applicable

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Documentation	Details	Required
G. Proposal Summary	An outline of the proposed development or land use, including an explanation of conformance to current land use regulations or rationale for a proposed variance. If applicable, the number of lots, units or gross floor area of the development and an explanation of benefits and impacts to surrounding properties or the character of the neighborhood in which the development is proposed.	<input checked="" type="checkbox"/>
H. Site Plans	Site Plans must be based on the registered legal Lot Plan (LTSA) and must contain: north arrow, correct scale and scale bar; property lines; name and extent of adjacent laneways or roadways; existing right of ways or easements; location, area, and dimensions including setbacks of existing and proposed structures; location and grade of accesses; location of any steep slopes, watercourses or other natural features on or adjacent to the property; location of existing wells or water sources, location of existing or proposed septic fields, location of any existing utilities. <b>(2 copies full size printed</b>	<input type="checkbox"/>
I. Building Plans	Architectural building drawings of exterior elevations, floor plans, and cross-sections	<input type="checkbox"/>
J. Exterior Finishes	Details regarding colors and exterior finishes for form and character development permits.	<input type="checkbox"/>
K. Design Rational Descriptions and Drawings of the Project	Design rationale: written explanation and professional drawings- how the project conforms to relevant development permit guidelines regarding architectural design, landscaping, parking, signage, access and integration with surrounding developments (please attach to application).	<input type="checkbox"/>
L. Off-Street Parking	Parking plan: to include all off-street parking spaces to scale with dimensions (if applicable).	<input type="checkbox"/>
M. Geotechnical Assessment	Geotechnical assessment: report to assess the suitability of the site if land stability problems are suspected if applicable).	<input type="checkbox"/>
N. Env. Riparian Assessment	Environmental or riparian assessment: report to include, but not limited to, watercourse, wildlife and bird habitat, discharges to air and water, land disturbance and clearing, and proposed mitigation (if applicable).	<input type="checkbox"/>
O. Wildfire Principal	Wildfire interface assessment: a report by a Registered Forest Professional identifying potential hazards and mitigation measures.	<input type="checkbox"/>
P. Drainage Plan	Drainage management plan prepared by a qualified professional showing proposed servicing locations (if applicable).	<input type="checkbox"/>

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Documentation	Details	Required
Q. Landscape Plan	Landscape plan prepared by a qualified professional drawn to scale showing existing and proposed screening, plantings, garbage enclosures, walkways and amenities.	<input type="checkbox"/>
R. Landscape Security Deposit	Landscape quote and security deposit (if applicable)	<input type="checkbox"/>
S.	Other Information	<input type="checkbox"/>

PART 6. FEE SCHEDULE BY APPLICATION TYPE		
<p><b>Fees and charges are refundable under these circumstances:</b></p> <p>1. Application fees for an Official Community Plan and/or Zoning Bylaw Amendment shall be refunded 50% of the application fee if the application is withdrawn or refused by Council prior to Public Hearing.</p> <p>2. Application fees for a Development Permit, Development Variance Permit or Temporary Use Permit shall be refunded 50% of the application fee if the application is withdrawn prior to proceeding to Council or to the Delegated Authority for minor Development Permits and minor Development Variance Permits.</p> <p>3. Applications that are withdrawn or lapse prior to substantial staff review and external referral shall be</p>	Official Community Plan	\$1000
	Amendment Zoning Bylaw	\$1000
	Amendment <b>Paid 29 April 2026</b>	\$1500
	Development Permit (Major and Minor): Fee depends on project value.	\$500 \$1000 \$1650
	Major Development Variance Permit	\$1000
	Minor Development Variance Permit	\$500
	Temporary Use Permit	\$700

Part 7. SIGNATURES	
<p>As the applicant or authorized agent, I declare that the information and supporting documentation submitted in support of this application are, to the best of my knowledge true and correct.</p>	
<p>I accept that further information may be required by the Village in accordance with the Village of Nakusp Development Application Procedures Bylaw and accept responsibility for processing delays if more information is required.</p>	
<p>I understand that all fees' charges in connection with this application are in accordance with the Village of Nakusp Fees and Charges Bylaw, and further charges may be required including Security Deposits and any legal fees and additional planning or engineering fees incurred by the Village of Nakusp.</p>	
Name of Applicant	<p style="text-align: center;"><b>Brian Sutherland</b> _____ (Print)</p>
Signature of Applicant	<p style="text-align: center;"> <span style="float: right;">Date <u>29 April 2026</u></span> </p>

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FOR OFFICE USE ONLY	
Application Fee \$	Security Deposit \$
Receipt Number	Date Security Deposit Received:
Received By	Receipt Number Security Deposit Received
File Number	Date Security Deposit Refunded
	Receipt Number Security Deposit Refunded

Additional Notes:



[REDACTED]  
Nakusp, BC  
V0G 1R1

[REDACTED]  
Email: [REDACTED]

**Planning & Development  
Village of Nakusp**

Date: 29 April 2026

**RE: Proposal Summary for Lots 507 and 509 Variance Application**

To Whom It May Concern,

We are applying for a By-Law Zoning variance to allow us to construct a duplex on the above noted lots. These lots located in the village area, are 50 feet wide x 170 feet long and are located beside each other totaling 100 feet wide x 170 feet long.

We are requesting the 1m clearance to the property line between the units to be zero clearance. This will allow each unit to be a separate parcel with only the demising wall separating the units. The demising wall would be centre of the dividing properties.

We would have a "legal party wall agreement" provided on record for the Two (2) units. There are no common lands or building other than this demising wall. Each has their own driveway and yard.

The lots would be surveyed and staked out by Monashee Surveying out of Vernon. They will also provide a location certification once the foundation has been installed to ensure proper location.

All other property boundary line setbacks will follow all required By-Laws. No impact to the local properties will be affected with this variance, the required clearances between the duplex and the other properties will exceed the minimum requirements.

Our building plans and site plan clearly identify the location of the demising wall and property line that we are referring too.

This will be a new build and will provide some necessary housing in the area. The duplex has 1200 sq.ft of living space and 255 sq.ft garage for each unit. This will be a single story building which stays in character with the surrounding properties.

Information from Nakusp Community Plan report

*Missing Middle Housing Like so many municipalities across Canada, Nakusp needs more Missing Middle Housing - that is, a range of multi-unit or clustered housing types that can cater to individuals or smaller households, younger single or couple professionals, and seniors. Given their generally smaller size relative to the standard single-detached household, Missing Middle housing is typically more affordable - to own, to rent, and to pay for the associated costs such as utilities. This housing is still compatible in scale with the single-family detached homes.*

*Housing product such as duplexes, triplexes, townhouses, and low-rise multiplexes help intensify land in a gentle, manageable way, and encourages a healthy walking-oriented lifestyle in urbanized centres. They provide solutions along a spectrum of affordability to address the mismatch between available housing stock, shifting demographics and the growing demand for workability. This OCP will encourage the development and provision of Missing Middle housing in appropriate locations throughout the Village (that is, within the Urban Containment Boundary established in Map 1.0: General Land Uses).*

*Missing Middle Housing ... Providing for a Senior Population Nakusp is considered to be the municipal centre of the Arrow Lakes region. The current population of Nakusp is aging - this mirrors the rapidly aging population in the greater surrounding Arrow Lakes region. In the 2020 RDCK Regional Housing Needs Report, seniors indicated that "they would prefer to be located closer to amenities and services, especially as they choose to drive less or are unable to operate a personal vehicle. Unfortunately, many desirable units are located in housing markets that are too expensive for many Central Kootenay residents. Expanding the availability of smaller, multi-unit housing, connected to services or transit options is vital for meeting the needs of an older population."*

The type of construction that we are looking to provide is very common throughout the country including local areas like Vernon and Kelowna.

We have several seniors wanted to move in to be closer to town and amenities, which in turn will have their houses put on the market

Should you have any questions or require further information about the enclosed projects, please do not hesitate to contact me.

Respectfully,

Brian F. Sutherland, President

Snowcreek Building Design Solutions Inc.

Phone: [REDACTED]

Email: [REDACTED]

Duplex Perspective



CLIENT

# SNOWCREEK

Building Design Solutions Inc.



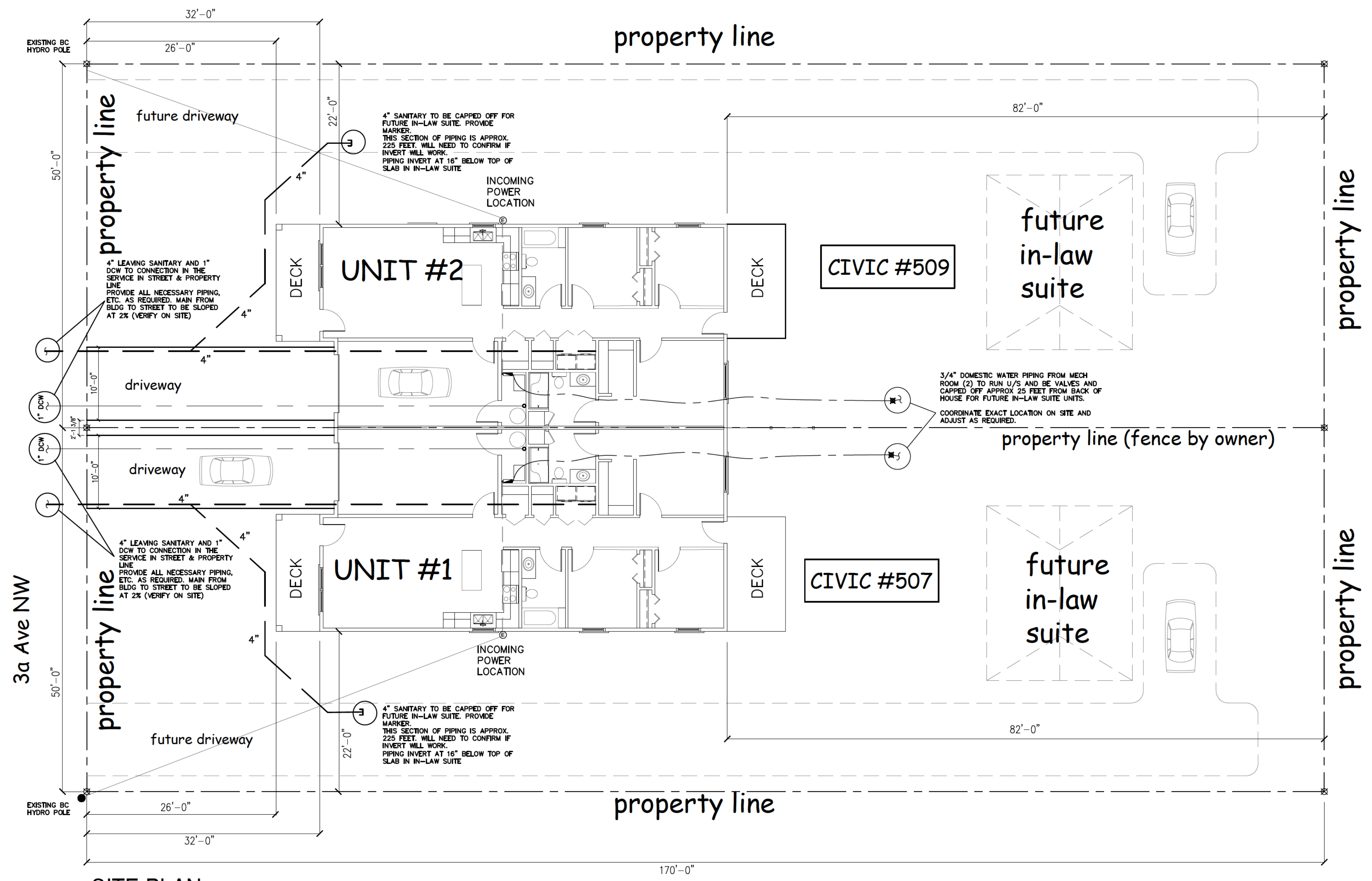
NAKUSP, BC

CIVIC # 507

CIVIC # 509

ISSUED FOR BUILDING  
PERMIT

6 April 2026



**SITE PLAN**

SCALE: 1/8" = 1'-0"



CIVIC #507 & 509  
NAKUSP, BC. VOG 1R0

GOOGLE MAP  
NTS

**SNOWCREEK**

Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
VOG 1R1  
Ph: 902.233.7237  
email: snowcreek@eastlink.ca

General Contractor  
**Secret Creek Construction**

P.O. Box 914  
Nakusp, BC  
VOG 1R1  
Ph: 250.265.1635  
email: secretcreekconstruction@gmail.com

**NOTES**

- .1 DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES.
- .2 ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR, AND ALL DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND AGREED UPON BEFORE PROCEEDING WITH WORK.
- .3 ALL WORK SHALL COMPLY WITH THE NATIONAL BUILDING CODE 2025 AND THE BC BUILDING CODE LATEST EDITION.
- .4 ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE.
- .5 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE.
- .6 INSTALL WIRED-IN SMOKE DETECTORS.
- .7 INSTALL HRV VENTILATION IN ACCORDANCE WITH CODE.
- .8 THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- .9 PROVIDE AND INSTALL ALL NECESSARY HARDWARE FOR ALL CLOSETS.
- .10 ALL ROOFING SHALL BE BY BUILDER
- .11 PROVIDE AND INSTALL ALL BAND, WINDOW AND DOOR TRIM.
- .12 PROVIDE ALL MATERIALS AS REQUIRED FOR A COMPLETED FINISH HOUSE. (kitchen appliances by owner)
- .13 PROVIDE FLOORING & LIGHTING ALLOWANCE

REVISIONS

NO.	DESCRIPTION	DATE
5		
4	ISSUED FOR PERMIT	6 Apr/26
3	ISSUED FOR MATERIAL PRICING	16 Dec/25
2	ISSUED FOR REVIEW	5 Dec/25
1	ISSUED FOR REVIEW	6 Oct/25

CLIENT

**SNOWCREEK**  
Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
VOG 1R1

PROJECT

**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

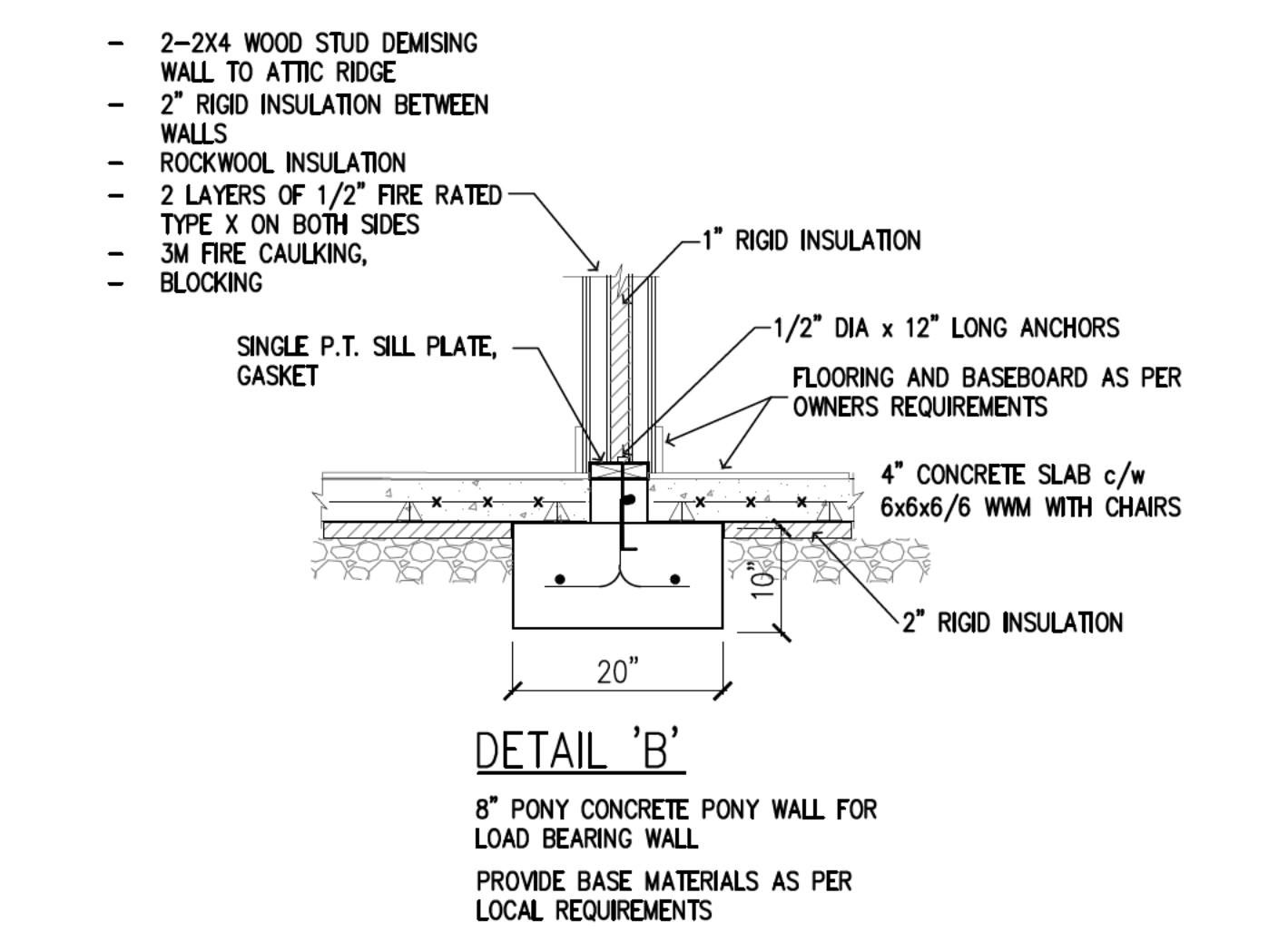
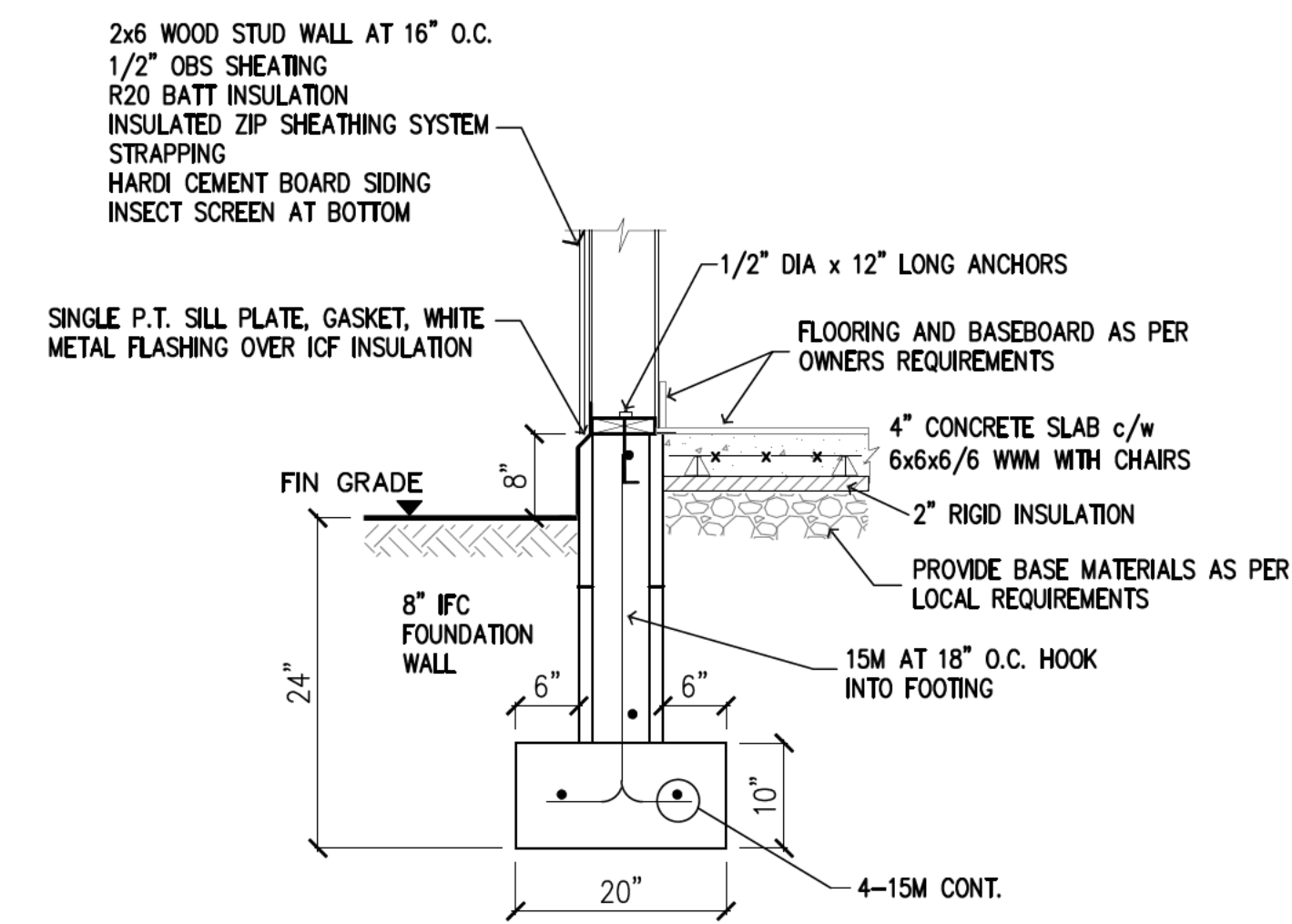
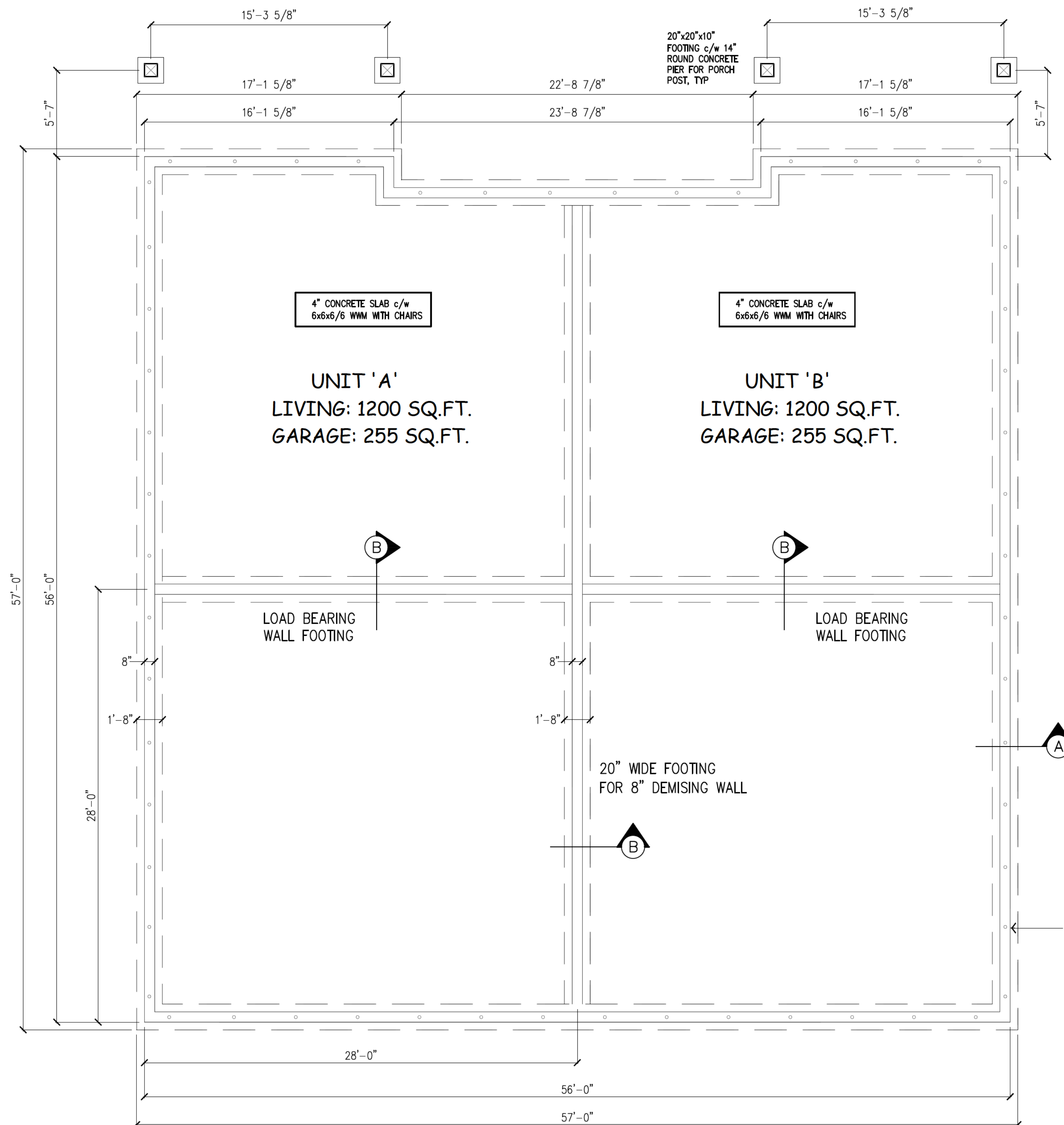
DRAWING

**BUILDING SITE PLAN**

DESIGNER:	B.F.S.
CHECKED BY:	S.C.
DRAWN BY:	B.F.S.
SCALE:	AS NOTED
DATE:	April 2026

PROJECT NO. | DRAWING NO.

SP-1



PROVIDE AND INSTALL ANCHOR BOLTS AT 48" O.C. MAX AND 12" MAX. FROM EACH CORNER

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**SNOWCREEK**  
Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
VOG IR1  
Ph: 902.233.7237  
email: snowcreek@eastlink.ca

General Contractor  
**Secret Creek Construction**  
P.O. Box 914  
Nakusp, BC  
VOG IR1  
Ph: 250.265.1635  
email: secretcreekconstruction@gmail.com

- NOTES**
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES.
  - ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR, AND ALL DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND AGREED UPON BEFORE PROCEEDING WITH WORK.
  - ALL WORK SHALL COMPLY WITH THE NATIONAL BUILDING CODE 2025 AND THE BC BUILDING CODE LATEST EDITION.
  - ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE.
  - ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE.
  - INSTALL WIRED-IN SMOKE DETECTORS.
  - INSTALL HRV VENTILATION IN ACCORDANCE WITH CODE.
  - THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE OWNER.
  - PROVIDE AND INSTALL ALL NECESSARY HARDWARE FOR ALL CLOSETS.
  - ALL ROOFING SHALL BE BY BUILDER
  - PROVIDE AND INSTALL ALL BAND, WINDOW AND DOOR TRIM.
  - PROVIDE ALL MATERIALS AS REQUIRED FOR A COMPLETED FINISH HOUSE. (kitchen appliances by owner)
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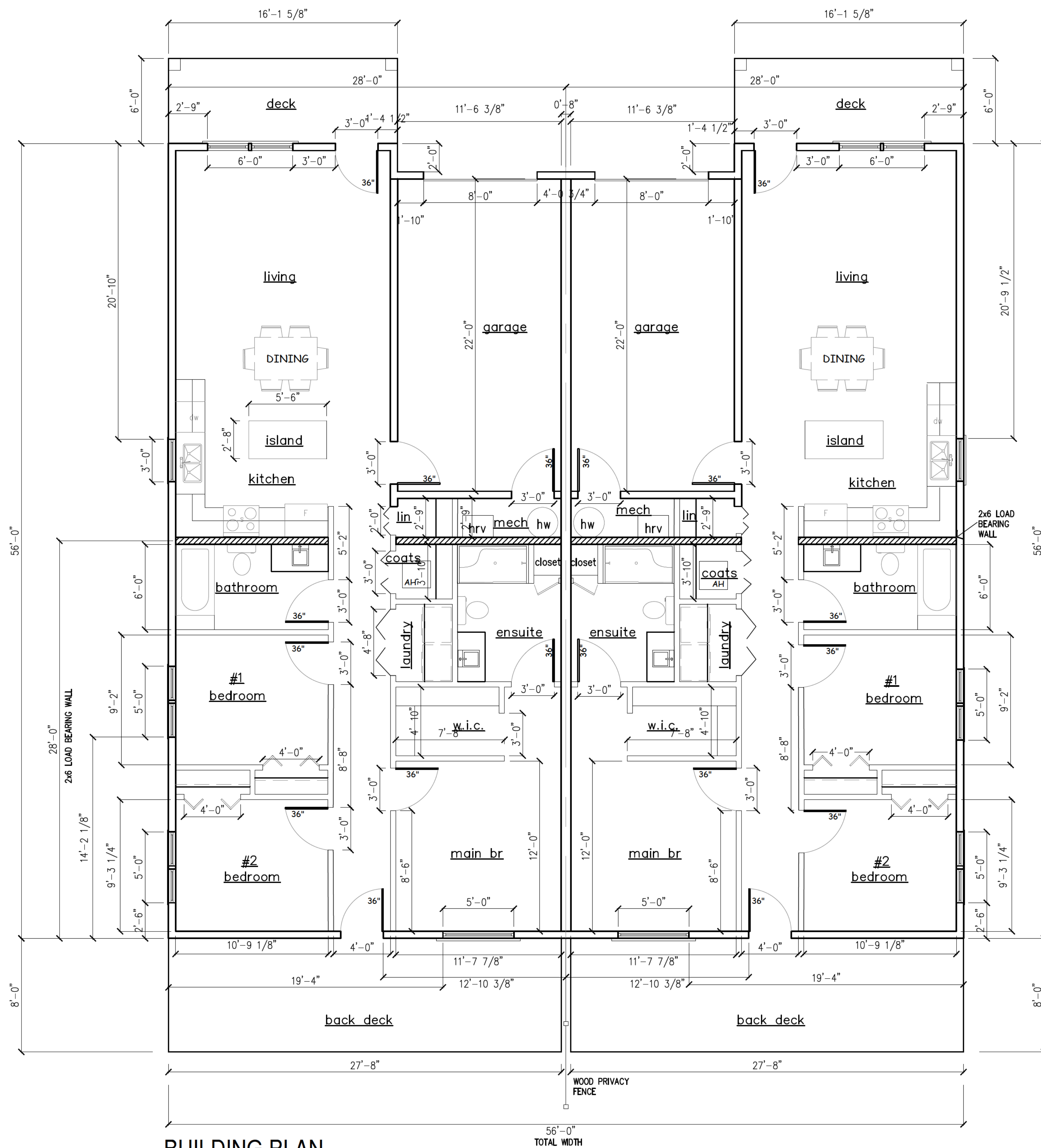
CLIENT  
**SNOWCREEK**  
Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
VOG IR1

PROJECT  
**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

DRAWING  
**BUILDING FOUNDATION PLAN**

DESIGNER:	B.F.S.
CHECKED BY:	S.C.
DRAWN BY:	B.F.S.
SCALE:	AS NOTED
DATE:	April 2026

PROJECT NO. | DRAWING NO.  
| A-1



**BUILDING PLAN**

SCALE: 1/4" = 1'-0"  
 LIVING: 1200 SQ.FT.  
 GARAGE: 255 SQ.FT.

**GENERAL NOTES:**

**KITCHEN:**

- ALL WHITE CABINETS UP AND LOWER CABINETS, CRAFTSMAN STYLE DOORS
- RICHELIEU BLACK HARDWARE
- COUNTERTOPS: CAESARSTONE, COLOUR TBD
- AMERICAN STANDARD UNDERMOUNT DOUBLE SS SINK MODEL PEKOE, 29"x18"x6" SINGLE HOLE, DELTA TRINSIC 9159 SINGLE HANDLE DECK MOUNTED, NO ESCUTCHEON PLATE.
- ISLAND WITH BUILT IN BASE CABINETS ON KITCHEN SIDE
- 36" WIDE FRIDGE OPENING
- 25" LONG X 13" HIGH MV OPENING
- 24 1/4" WIDE DISHWASHER OPENING
- 30" STOVE/OVEN
- REFER TO M3 DRAWING FOR RANGEHOOD MODEL

\* ALL APPLIANCES BY OWNER

**WASHROOMS:**

- ALL WHITE CABINETS, CRAFTSMAN STYLE DOORS
- RICHELIEU BLACK HARDWARE
- COUNTERTOPS: CAESARSTONE, COLOUR TBD
- TOILET: KOHLER MODEL K3589, WHITE, ADA, ELONGATED BOWL, c/w SEAT & COVER K-4664
- AMERICAN STANDARD MODEL LOFT ABOVE COUNTER SINK, 0552.001, CENTRE DRAIN, RECTANGULAR, SINGLE HOLE FAUCET LEDGE, REAR OVERFLOW CUTOUT TEMPLATE, 19 5/8" X 17 11/16" X 5 7/8"
- FAUCET SET: AMERICAN STANDARD TIME SQUARE 7184.101 SINGLE CONTROL MONOBLOCK, POP UP DRAIN
- SHOWER UNIT MAAX MODEL 3660, LH SEAT FOR UNIT #1, RH SEAT WHEN FACING UNIT UNIT 2, WHITE, ONE PIECE, 60"WIDE X 36" DEEP X 77" HIGH, CENTRE DRAIN, SHELING. c/w SLIDING GLASS UNIT
- SHOWER VALVE/HEAD: (OR EQUAL) AMERICAN STANDARD MODEL CANIS 1660900.002 SHOWER KIT, c/w HEAD, MIXING VALVE, DIVERTER, PRESSURE BALANCING CARTRIDGE, 18" SHOWER ARM AND FLANGE, 11" SHOWER HEAD, 30" SHOWER RAIL REFER ALSO TO SPEC CUT SHEET.
- BATHTUB 60" LONG, WHITE c/w ONE PIECE SURROUND, SHOWER VALVE CONTROL, SLIDING SHOWER HEAD, TUB FILLER, WASTE

**TRIM:**

- 5" HIGH PINE BASEBOARD
- 4" TOP RAIL AT WINDOWS/DOORS
- 3" SIDES AND BOTTOM AT WINDOWS/DOORS

ALL BASEBOARD AND WINDOW TRIM, INTERIOR DOORS TO BE PAINTED WHITE, BM OC-65, CHANTILLY-LACE, SATIN

GARAGE DOORS TO BE BY PROVIDED AND INSTALLED BY UNIT SUPPLIER UNDER THE DIRECTION OF THE BUILDING, NO WINDOWS.

- SIDEWALL MOTORS, SENSORS, WALL CONTROLS, ETC. FOR A COMPLETE INSTALLATION

**FLOORING:**

- LVT, TBD. PROVIDE ALLOWANCE OF \$2.50 FER SQ.FT.
- TOTAL LIVING AREA: 1200 SQ.FT. IN EACH UNIT

**OTHERS:**

DHW TANK:  
 40 GALLON ELECTRIC HOT WATER HEATER FOR EACH UNIT.

HRV: (2 REQUIRED)  
 BASED ON FANTECH FLEX 100H  
 c/w PROGRAM TOUCH SCREEN WALL CONTROL, 120/1/60, 172 WATTS, 1.6 AMPS, ALUM. HEAT RECOVERY CORE, 2 WASHABLE FILTERS, 3/4" PEX DRAIN LINE, SUSPENDE FROM CEILING, 5" OVAL DUCT CONNECTIONS,

EF-1:  
 TO BE PANASONIC MODEL FV-11VQ5, 90 CFM @0.25" SP, 115/1/60, 4" DISCHARGE COLLAR

EF-2:  
 TO BE PANASONIC MODEL FV-11VQ5, 90 CFM @0.25" SP, 115/1/60, 4" DISCHARGE COLLAR

EF-3:  
 BROAN BU230SF RANGEHOOD, 30" WIDE, STAINLESS STEEL, ALUMN. FILTER, LED LIGHT, 230 CFM, 2 SPEED, 3 1/4"x10 DUCT CONNECTION

A/C UNITS (AC1 & A/C-2)

SIMILAR TO MITSUBISHI MSZ SERIES, 6,000 BTU COOLING, 8,700 BTU HEATING c/w 5/8" DRAIN LINE, 3/8" VAPOUR, 1/4" SUCTION

GARAGE DOOR TO BE 45 MIN FIRE RATED c/w SELF CLOSING HINGES, DOOR SWEEP, ETC.

BUILDING SUPPLIER TO PROVIDE ALL NECESSARY CLOSETS ROD HANGERS, SHELING, ETC.

ALL DOOR HANDLES TO BE WHITE LEVER STYLE, PRIVACY SETS FOR ALL BATHROOMS

EXTERIOR DOORS c/w LOCKING HARDWARE. FRONT DOOR BASED ON CRAFTSMAN STYLE, SEE ALSO DETAIL

**SNOWCREEK**  
 Building Design Solutions Inc.

4385 Highway 6  
 Nakusp, BC  
 V0G 1R1  
 Ph: 902.233.7237  
 email: snowcreek@eastlink.ca

General Contractor

**Secret Creek Construction**

P.O. Box 914  
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**NOTES**

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- PROVIDE ALL MATERIALS AS REQUIRED FOR A COMPLETED FINISH HOUSE. (kitchen appliances by owner)
- PROVIDE FLOORING & LIGHTING ALLOWANCE

**REVISIONS**

NO.	DESCRIPTION	DATE
5		
4	ISSUED FOR PERMIT	6 Apr/26
3	ISSUED FOR MATERIAL PRICING	16 Dec/25
2	ISSUED FOR REVIEW	5 Dec/25
1	ISSUED FOR REVIEW	6 Oct/25

**CLIENT**

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4385 Highway 6  
 Nakusp, BC  
 V0G 1R1

**PROJECT**

**DUPLEX RESIDENCE**  
**LOT #507 & #509**

NAKUSP, B.C.

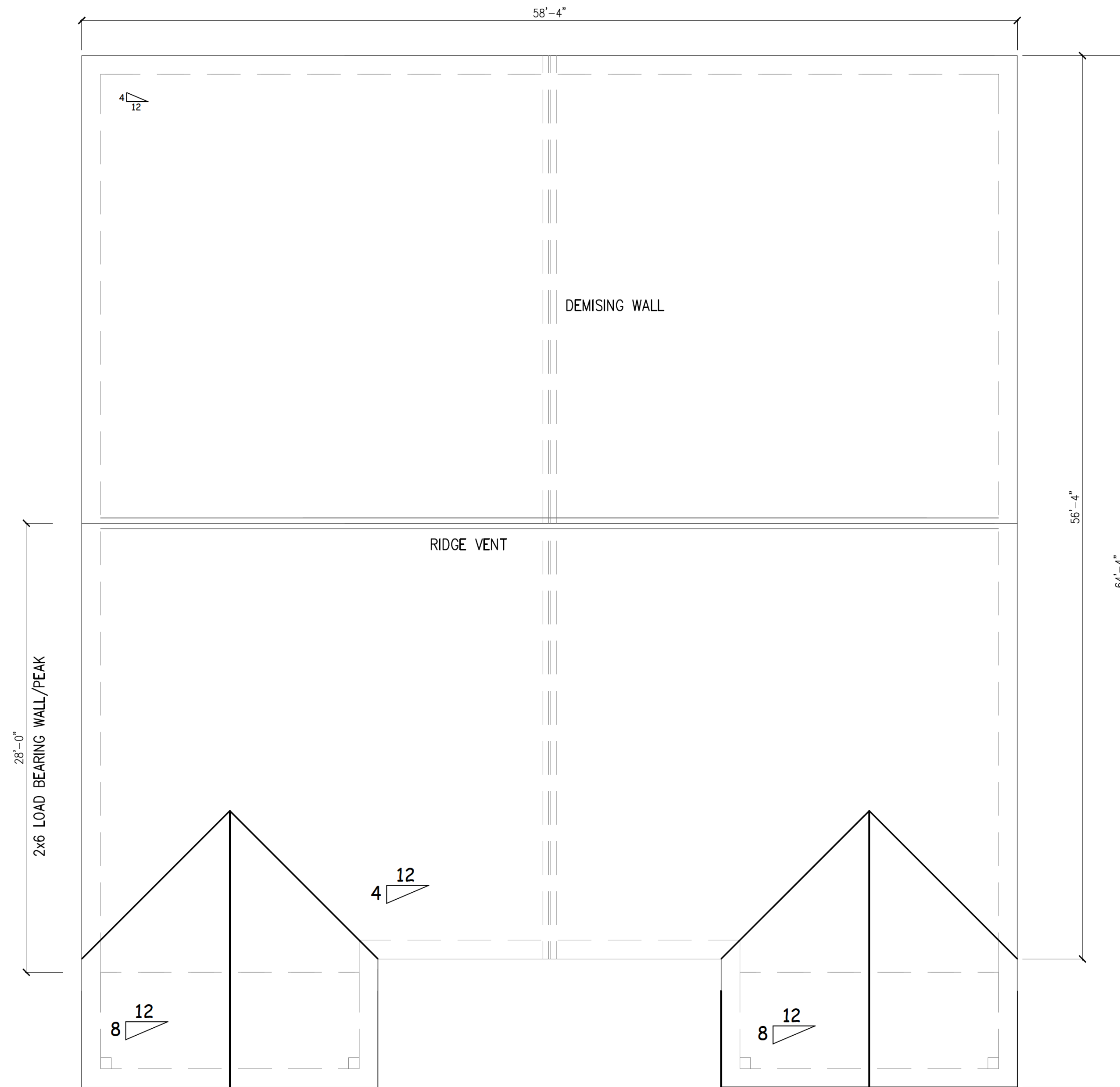
**DRAWING**

**BUILDING**  
**FLOOR PLAN**

DESIGNER:	B.F.S.
CHECKED BY:	S.C.
DRAWN BY:	B.F.S.
SCALE:	AS NOTED
DATE:	April 2026

PROJECT NO.

DRAWING NO.



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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4385 Highway 6  
Nakusp, BC  
VOG IR1  
Ph: 902.233.7237  
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VOG IR1

PROJECT  
**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

DRAWING  
**BUILDING**  
**ROOF PLAN**

DESIGNER: B.F.S.  
CHECKED BY: S.C.  
DRAWN BY: B.F.S.  
SCALE: AS NOTED  
DATE: April 2026

PROJECT NO. | DRAWING NO.  
| A-3

**SNOWCREEK**

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PROJECT

**DUPLEX RESIDENCE**  
LOT #507 & #509  
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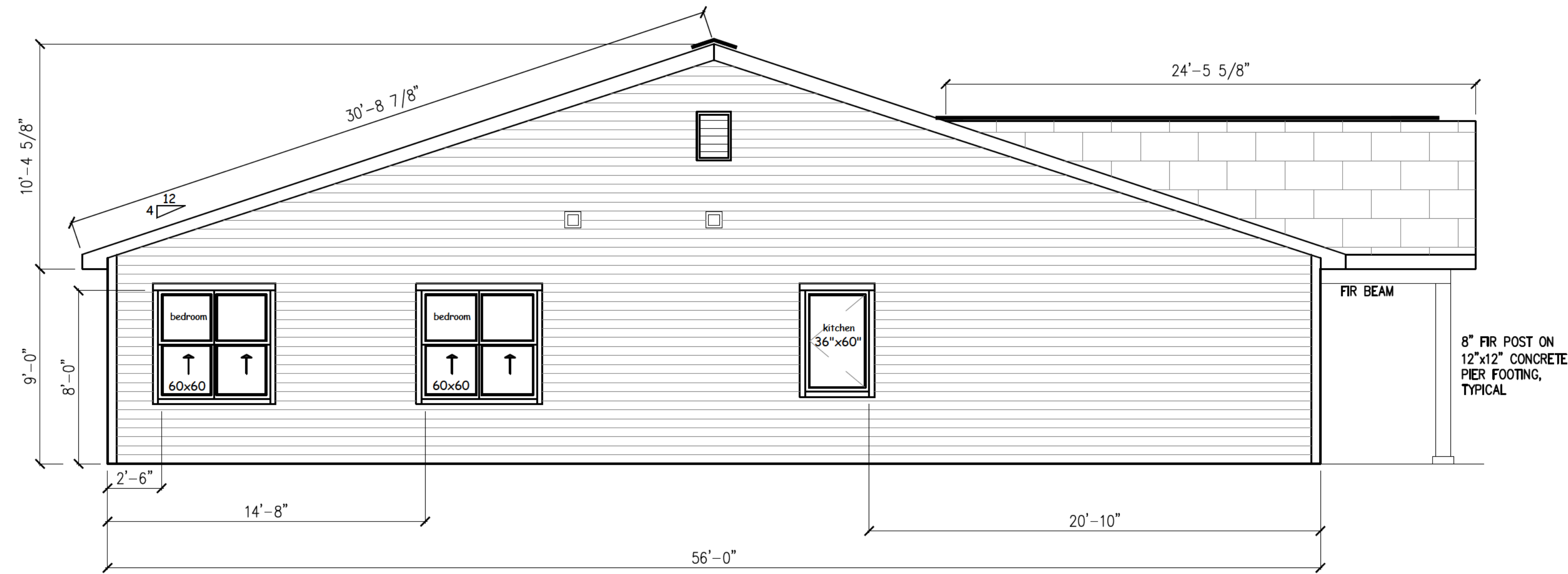
DRAWING

**BUILDING ELEVATIONS**

DESIGNER:	B.F.S.
CHECKED BY:	S.C.
DRAWN BY:	B.F.S.
SCALE:	AS NOTED
DATE:	April 2026

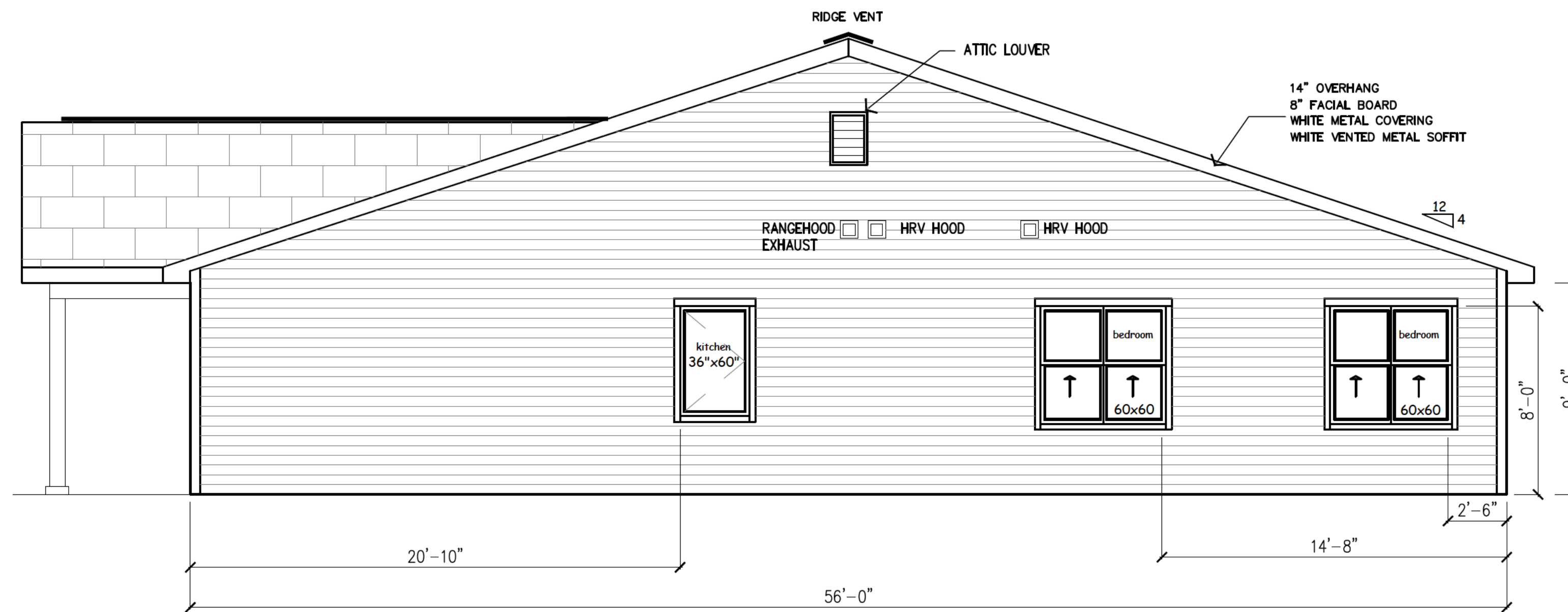
PROJECT NO. | DRAWING NO.

A-4



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

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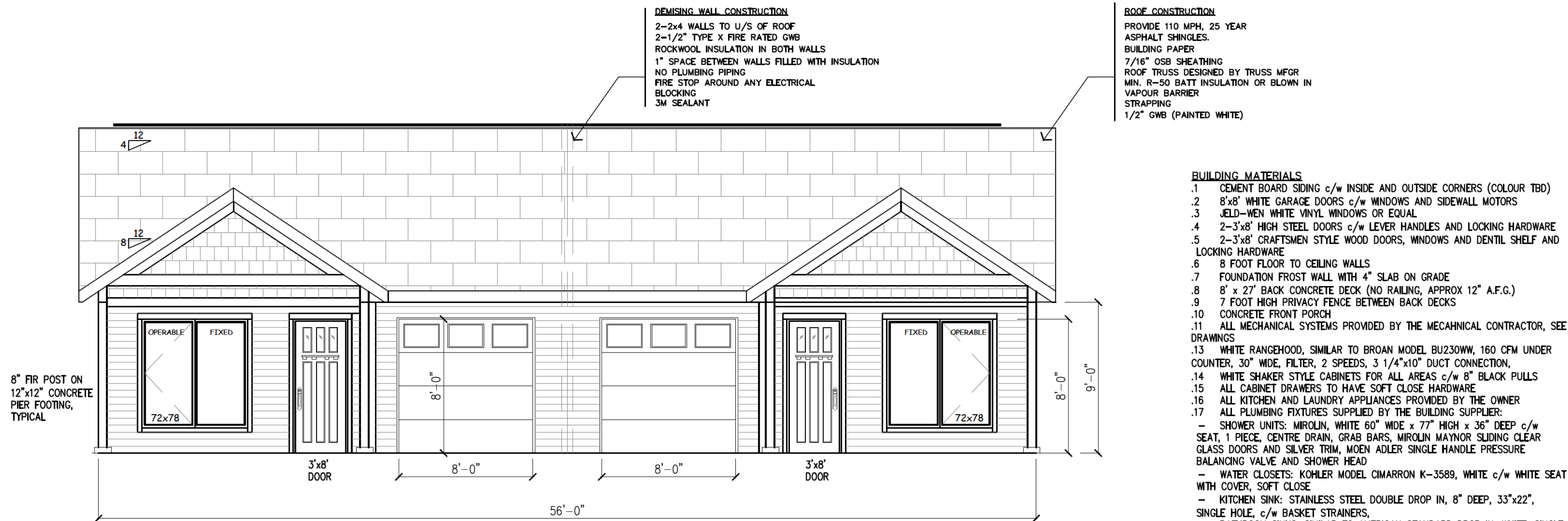
PROJECT  
**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

**BUILDING ELEVATIONS**

DESIGNER: B.F.S.  
CHECKED BY: S.C.  
DRAWN BY: B.F.S.  
SCALE: AS NOTED  
DATE: April 2026

PROJECT NO. | DRAWING NO.

A-5



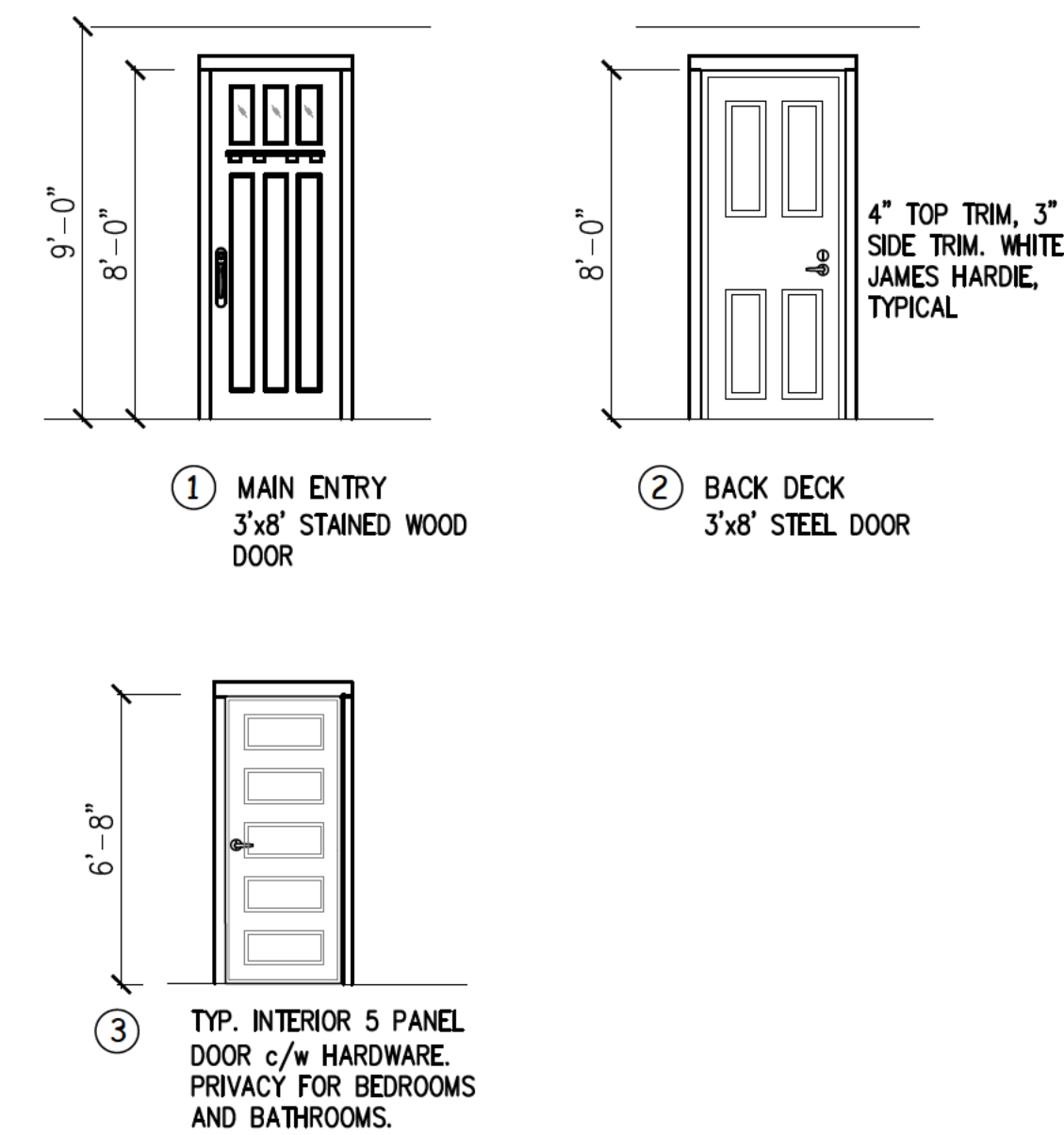
**FRONT ELEVATION**

SCALE: 1/4" =1'-0"



**BACK ELEVATION**

SCALE: 1/4" =1'-0"



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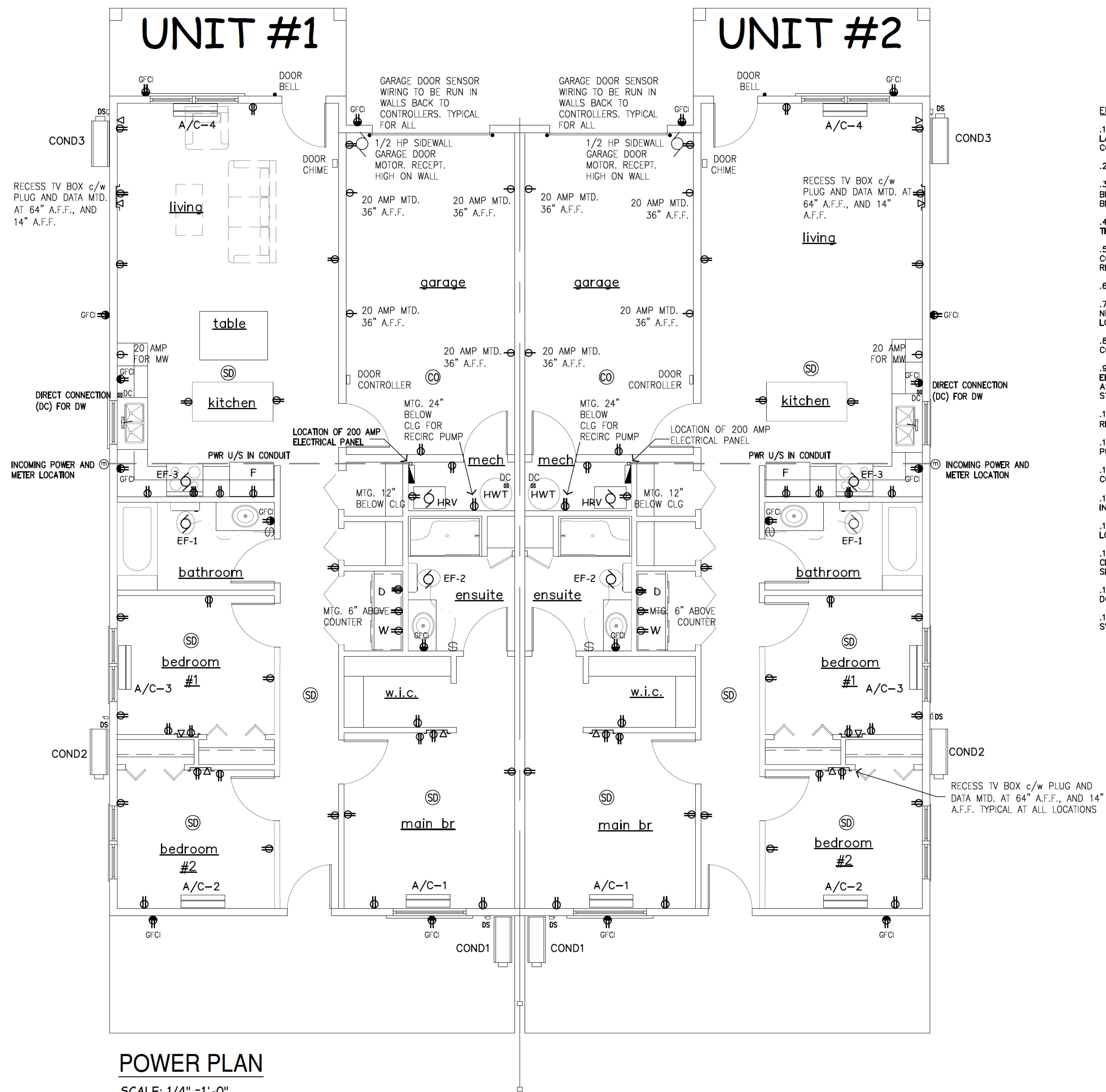
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 4385 Highway 6  
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 V0G 1R1

PROJECT  
**DUPLEX RESIDENCE**  
 LOT #507 & #509  
 NAKUSP, B.C.

DRAWING  
**BUILDING**  
**POWER PLAN**

DESIGNER: B.F.S.  
 CHECKED BY: S.C.  
 DRAWN BY: B.F.S.  
 SCALE: AS NOTED  
 DATE: April 2026

PROJECT NO. | DRAWING NO.



- ELECTRICAL NOTES:**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE AND LOCAL AUTHORITIES.
  - LIGHT SWITCHES SHALL BE WHITE PADDLE TYPE.
  - PROVIDE AND INSTALL SMOKE DETECTORS IN ALL BEDROOMS AND CO SENSORS 5'-0" OUTSIDE BEDROOMS & GARAGE
  - COORDINATE ELECTRICAL REQUIREMENTS WITH THE OWNER PRIOR TO ROUGH IN
  - DRAWINGS DO NOT SHOW ALL WIRING, BOXES, CONDUIT, CONTRACTOR TO PROVIDE WHERE REQUIRED.
  - PROVIDE 120 VOLT RECEPTACLE FOR HRV UNIT
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS, ETC. AS REQUIRED BY THE LOCAL AREA.
  - ALL LIGHTS TO BE SELECTED BY THE OWNER, COORDINATE AS REQUIRED.
  - CONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL PANEL, WIRING, BOXES, SWITCHES, ETC. AS REQUIRED FOR A COMPLETE OPERATIONAL SYSTEM.
  - COORDINATE WITH THE HVAC CONTRACTOR REGARDING A/C HEATING AND COOLING UNITS.
  - PROVIDE RECEPTACLE FOR THE HW RECIRC PUMP IN MECH ROOM
  - HW STORAGE TANK, 240 VOLTS, 12.5 AMPS. COORDINATE WITH PLUMBING CONTRACTOR
  - PROVIDE 20 AMP RECEPTACLES FOR MV's AND IN THE GARAGE
  - LOCATE 200 AMP PANEL IN THE MECH ROOM. LOCATE INCOMING POWER FROM METER UNDER SLAB
  - PROVIDE AND INSTALL RECEPTACLE NEAR THE CEILING FOR THE SIDEWALL GARAGE MOTOR AND SENSOR LIGHT
  - ALL GARAGE DOOR WIRING TO BE INSIDE WALL DO NOT RUN EXPOSED
  - BATHROOM EXHAUST FAN WIRED TO OWN SWITCH

**POWER PLAN**

SCALE: 1/4" = 1'-0"

**SNOWCREEK**

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PROJECT

**DUPLEX RESIDENCE**

LOT #507 & #509

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DRAWING

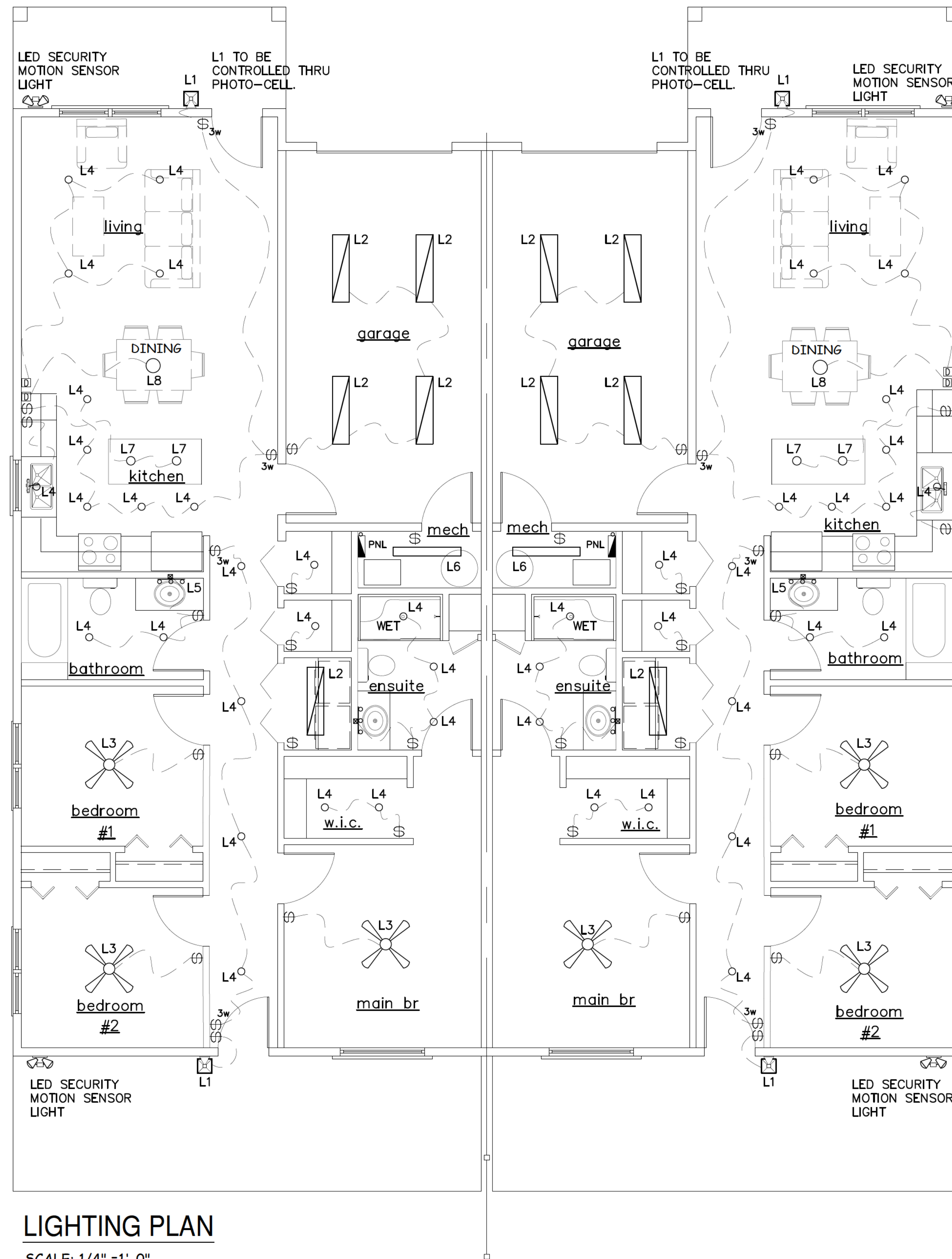
**BUILDING LIGHTING PLAN**

DESIGNER:	B.F.S.
CHECKED BY:	S.C.
DRAWN BY:	B.F.S.
SCALE:	AS NOTED
DATE:	April 2026

PROJECT NO.

DRAWING NO.

E-2



**LIGHTING SCHEDULE:**

- L1: EXTERIOR LED WALL SCONCE; BLACK
- L2: 1x4 LED SURFACE MOUNTED
- L3: 42" ROUND CEILING FAN WITH LED LIGHT
- L4: 4" LED RECESSED (WET LOCATION FOR SHOWER)
- L5: BATHROOM VANITY LED LIGHT, WALL MOUNTED, 3 LAMP UNIT
- L6: 1x6" LED SURFACE MOUNTED LIGHT
- L7: HANGING LED PENDANT LIGHT OVER ISLAND, BLACK
- L8: HANGING LED PENDANT LIGHT (DINING ROOM), CHROME

**LIGHTING PLAN**

SCALE: 1/4" = 1'-0"

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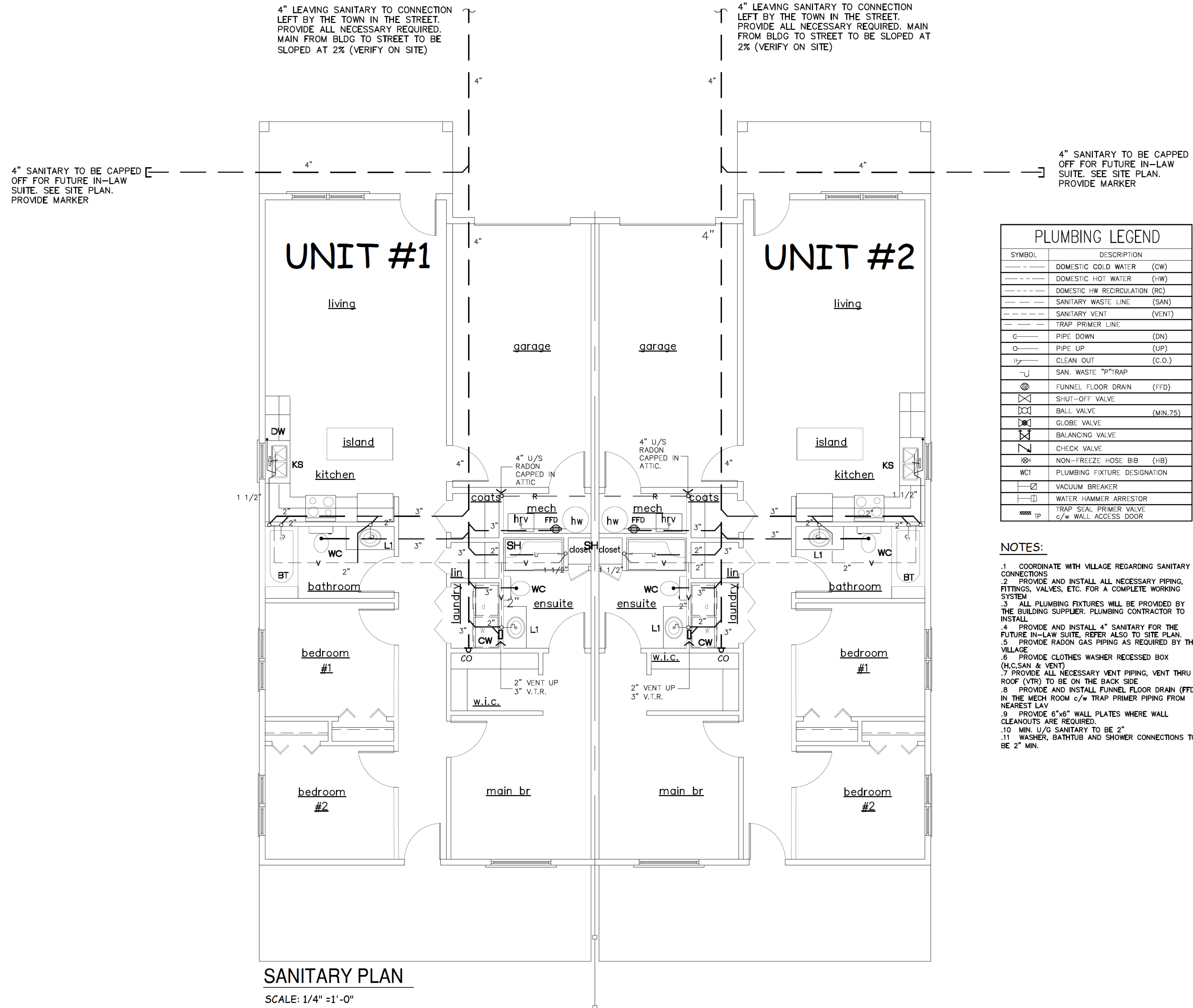
PROJECT  
**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

DRAWING  
**BUILDING**  
**SANITARY PLAN**

DESIGNER: B.F.S.  
CHECKED BY: S.C.  
DRAWN BY: B.F.S.  
SCALE: AS NOTED  
DATE: April 2026

PROJECT NO. | DRAWING NO.

M-1



**PLUMBING LEGEND**

SYMBOL	DESCRIPTION
---	DOMESTIC COLD WATER (CW)
---	DOMESTIC HOT WATER (HW)
---	DOMESTIC HW RECIRCULATION (RC)
---	SANITARY WASTE LINE (SAN)
---	SANITARY VENT (VENT)
---	TRAP PRIMER LINE
⊖	PIPE DOWN (DN)
⊕	PIPE UP (UP)
⊖	CLEAN OUT (C.O.)
⊖	SAN. WASTE "P" TRAP
⊖	FUNNEL FLOOR DRAIN (FFD)
⊖	SHUT-OFF VALVE
⊖	BALL VALVE (MIN.75)
⊖	GLOBE VALVE
⊖	BALANCING VALVE
⊖	CHECK VALVE
⊖	NON-FREEZE HOSE BIB (HB)
WC1	PLUMBING FIXTURE DESIGNATION
⊖	VACUUM BREAKER
⊖	WATER HAMMER ARRESTOR
⊖	TRAP SEAL PRIMER VALVE
⊖	c/w WALL ACCESS DOOR

- NOTES:**
- COORDINATE WITH VILLAGE REGARDING SANITARY CONNECTIONS
  - PROVIDE AND INSTALL ALL NECESSARY PIPING, FITTINGS, VALVES, ETC. FOR A COMPLETE WORKING SYSTEM
  - ALL PLUMBING FIXTURES WILL BE PROVIDED BY THE BUILDING SUPPLIER. PLUMBING CONTRACTOR TO INSTALL
  - PROVIDE AND INSTALL 4" SANITARY FOR THE FUTURE IN-LAW SUITE, REFER ALSO TO SITE PLAN.
  - PROVIDE RADON GAS PIPING AS REQUIRED BY THE VILLAGE
  - PROVIDE CLOTHES WASHER RECESSED BOX (H.C.SAN & VENT)
  - PROVIDE ALL NECESSARY VENT PIPING, VENT THRU ROOF (VTR) TO BE ON THE BACK SIDE
  - PROVIDE AND INSTALL FUNNEL FLOOR DRAIN (FFD) IN THE MECH ROOM c/w TRAP PRIMER PIPING FROM NEAREST LAV
  - PROVIDE 6"x6" WALL PLATES WHERE WALL CLEANOUTS ARE REQUIRED.
  - MIN. U/G SANITARY TO BE 2"
  - WASHER, BATHTUB AND SHOWER CONNECTIONS TO BE 2" MIN.

**SANITARY PLAN**  
SCALE: 1/4" = 1'-0"

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  - ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR, AND ALL DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND AGREED UPON BEFORE PROCEEDING WITH WORK.
  - ALL WORK SHALL COMPLY WITH THE NATIONAL BUILDING CODE 2025 AND THE BC BUILDING CODE LATEST EDITION.
  - ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE.
  - ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE.
  - INSTALL WIRED-IN SMOKE DETECTORS.
  - INSTALL HRV VENTILATION IN ACCORDANCE WITH CODE.
  - THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE OWNER.
  - PROVIDE AND INSTALL ALL NECESSARY HARDWARE FOR ALL CLOSETS.
  - ALL ROOFING SHALL BE BY BUILDER
  - PROVIDE AND INSTALL ALL BAND, WINDOW AND DOOR TRIM.
  - PROVIDE ALL MATERIALS AS REQUIRED FOR A COMPLETED FINISH HOUSE. (kitchen appliances by owner)
  - PROVIDE FLOORING & LIGHTING ALLOWANCE

REVISIONS

NO.	DESCRIPTION	DATE
5		
4	ISSUED FOR PERMIT	6 Apr/26
3	ISSUED FOR MATERIAL PRICING	16 Dec/25
2	ISSUED FOR REVIEW	5 Dec/25
1	ISSUED FOR REVIEW	6 Oct/25

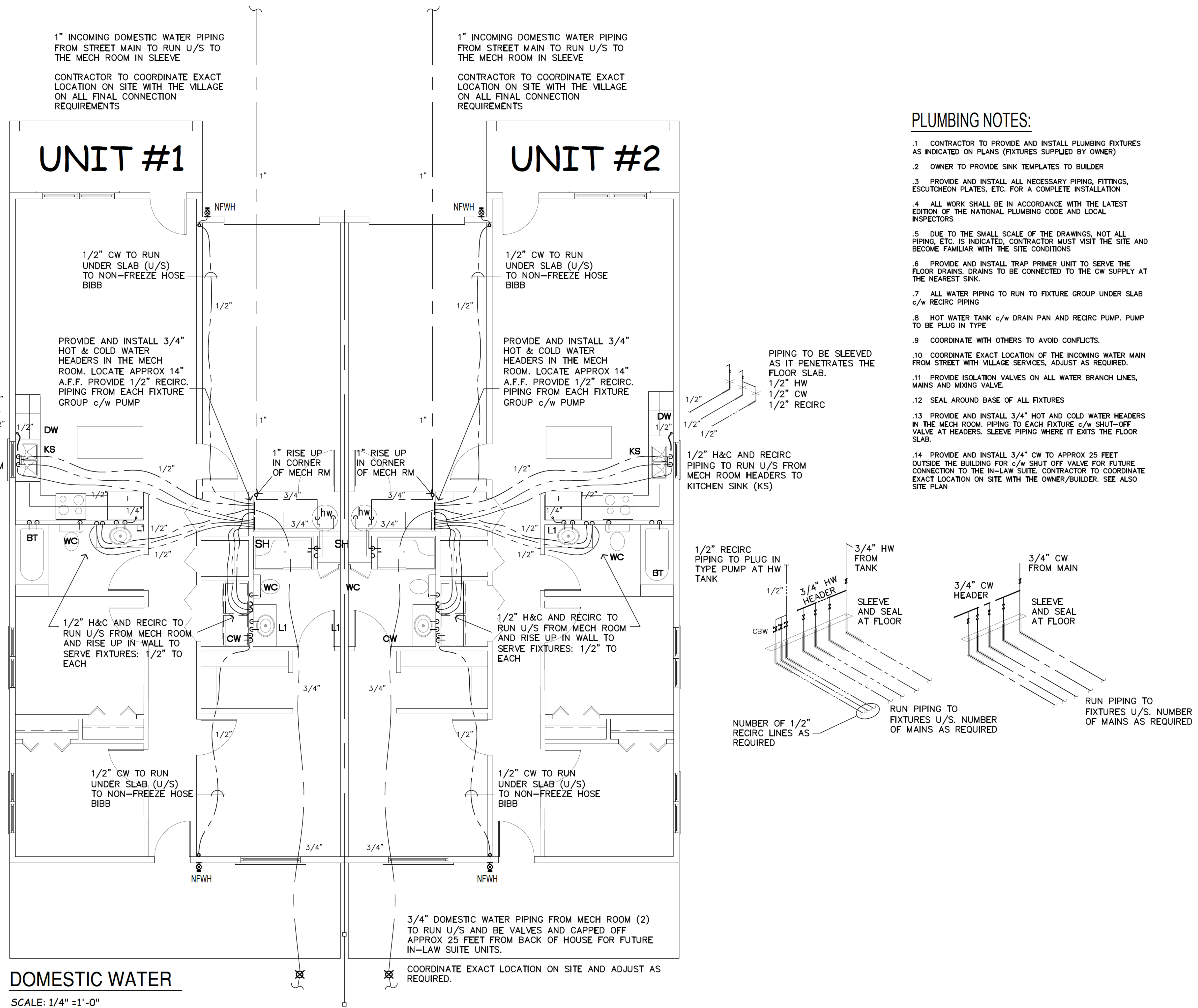
CLIENT  
**SNOWCREEK**  
Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
VOG IR1

PROJECT  
**DUPLEX RESIDENCE**  
LOT #507 & #509  
NAKUSP, B.C.

DRAWING  
**BUILDING WATER PLAN**

DESIGNER: B.F.S.  
CHECKED BY: S.C.  
DRAWN BY: B.F.S.  
SCALE: AS NOTED  
DATE: April 2026

PROJECT NO. | DRAWING NO.



**PLUMBING NOTES:**

- CONTRACTOR TO PROVIDE AND INSTALL PLUMBING FIXTURES AS INDICATED ON PLANS (FIXTURES SUPPLIED BY OWNER)
- OWNER TO PROVIDE SINK TEMPLATES TO BUILDER
- PROVIDE AND INSTALL ALL NECESSARY PIPING, FITTINGS, ESCUTCHEON PLATES, ETC. FOR A COMPLETE INSTALLATION
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE AND LOCAL INSPECTORS
- DUE TO THE SMALL SCALE OF THE DRAWINGS, NOT ALL PIPING, ETC. IS INDICATED, CONTRACTOR MUST VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS
- PROVIDE AND INSTALL TRAP PRIMER UNIT TO SERVE THE FLOOR DRAINS. DRAINS TO BE CONNECTED TO THE CW SUPPLY AT THE NEAREST SINK.
- ALL WATER PIPING TO RUN TO FIXTURE GROUP UNDER SLAB c/w RECIRC PIPING
- HOT WATER TANK c/w DRAIN PAN AND RECIRC PUMP. PUMP TO BE PLUG IN TYPE
- COORDINATE WITH OTHERS TO AVOID CONFLICTS.
- COORDINATE EXACT LOCATION OF THE INCOMING WATER MAIN FROM STREET WITH VILLAGE SERVICES, ADJUST AS REQUIRED.
- PROVIDE ISOLATION VALVES ON ALL WATER BRANCH LINES, MAINS AND MIXING VALVE.
- SEAL AROUND BASE OF ALL FIXTURES
- PROVIDE AND INSTALL 3/4" HOT AND COLD WATER HEADERS IN THE MECH ROOM. PIPING TO EACH FIXTURE c/w SHUT-OFF VALVE AT HEADERS. SLEEVE PIPING WHERE IT EXITS THE FLOOR SLAB.
- PROVIDE AND INSTALL 3/4" CW TO APPROX 25 FEET OUTSIDE THE BUILDING FOR c/w SHUT OFF VALVE FOR FUTURE CONNECTION TO THE IN-LAW SUITE. CONTRACTOR TO COORDINATE EXACT LOCATION ON SITE WITH THE OWNER/BUILDER. SEE ALSO SITE PLAN

**DOMESTIC WATER**  
SCALE: 1/4" = 1'-0"

**SNOWCREEK**  
Building Design Solutions Inc.

4385 Highway 6  
Nakusp, BC  
V0G 1R1  
Ph: 902.233.7237  
email: snowcreek@eastlink.ca

General Contractor  
**Secret Creek Construction**  
P.O. Box 914  
Nakusp, BC  
V0G 1R1  
Ph: 250.265.1635  
email: secretcreekconstruction@gmail.com

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**REVISIONS**

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**CLIENT**  
**SNOWCREEK**  
Building Design Solutions Inc.  
4385 Highway 6  
Nakusp, BC  
V0G 1R1

**PROJECT**  
**DUPLEX RESIDENCE**  
**LOT #507 & #509**  
NAKUSP, B.C.

**DRAWING**  
**BUILDING**  
**HVAC PLAN**

DESIGNER: B.F.S.  
CHECKED BY: S.C.  
DRAWN BY: B.F.S.  
SCALE: AS NOTED  
DATE: April 2026

PROJECT NO. | DRAWING NO.

M-3

**UNIT #1**

**UNIT #2**

**UNIT #1**

HRV:  
BASED ON FANTECH FLEX 100H  
c/w PROGRAM TOUCH SCREEN WALL CONTROL,  
120/1/60, 172 WATTS, 1.6 AMPS, POLY HEAT  
RECOVERY CORE, 2 WASHABLE FILTERS, 3/4" PEX  
DRAIN LINE TO FFD, SUSPENDED FROM CEILING, 5"  
OVAL DUCT CONNECTIONS. ALL DUCTING TO RUN IN  
ATTIC SPACE c/w 1" THICK THERMAL INSULATION.  
ROUTE LOCATIONS AS SITE AS REQUIRED. 4"  
CONNECTIONS TO FANTECH WHITE CEILING DIFFUSER

EF-1:  
TO BE PANASONIC MODEL FV-11VQ5, 90 CFM @0.25" SP,  
115/1/60, 4" DISCHARGE COLLAR

EF-2:  
TO BE PANASONIC MODEL FV-11VQ5, 90 CFM @0.25" SP,  
115/1/60, 4" DISCHARGE COLLAR

EF-3:  
BROAN BU230SF UNDERCOUNTER RANGEHOOD, 30" WIDE,  
STAINLESS STEEL, ALUMN. FILTER, LED LIGHT, 230 CFM, 2 SPEED,  
3 1/4"x10 DUCT CONNECTION

A/C UNITS (AC1 & A/C-2)

SIMILAR TO MITSUBISHI MSZ SERIES, 6,000 BTU COOLING, 8,700  
BTU HEATING c/w 5/8" DRAIN LINE, 3/8" VAPOUR, 1/4" SUCTION

**UNIT #2**

HRV:  
BASED ON FANTECH FLEX 100H  
c/w PROGRAM TOUCH SCREEN WALL CONTROL,  
120/1/60, 172 WATTS, 1.6 AMPS, POLY HEAT  
RECOVERY CORE, 2 WASHABLE FILTERS, 3/4" PEX  
DRAIN LINE TO FFD, SUSPENDED FROM CEILING, 5"  
OVAL DUCT CONNECTIONS. ALL DUCTING TO RUN IN  
ATTIC SPACE c/w 1" THICK THERMAL INSULATION.  
ROUTE LOCATIONS AS SITE AS REQUIRED. 4"  
CONNECTIONS TO FANTECH WHITE CEILING DIFFUSER

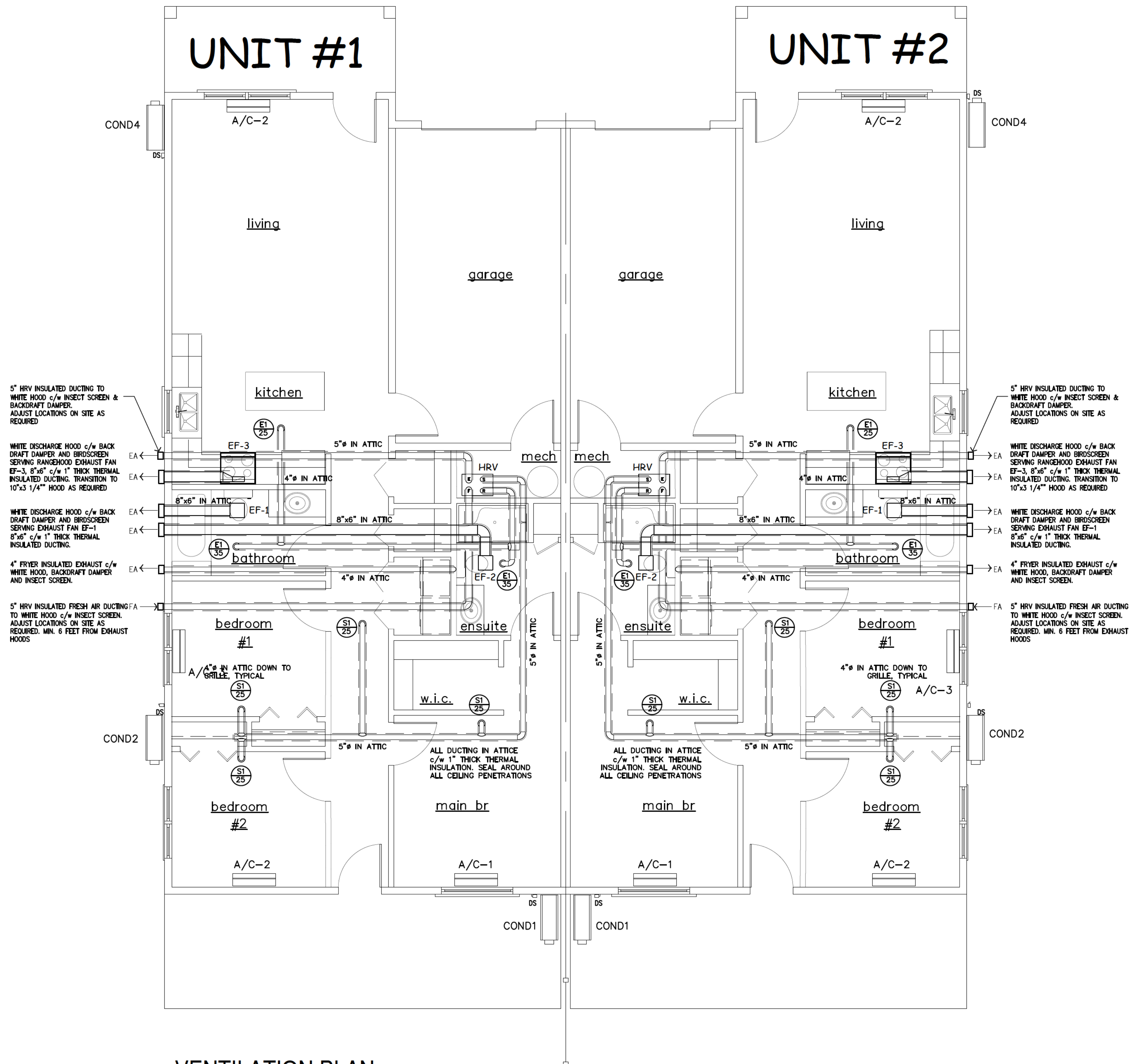
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115/1/60, 4" DISCHARGE COLLAR

EF-2:  
TO BE PANASONIC MODEL FV-11VQ5, 90 CFM @0.25" SP,  
115/1/60, 4" DISCHARGE COLLAR

EF-3:  
BROAN BU230SF UNDERCABINET RANGEHOOD, 30" WIDE,  
STAINLESS STEEL, ALUMN. FILTER, LED LIGHT, 230 CFM, 2 SPEED,  
3 1/4"x10 DUCT CONNECTION

A/C UNITS (AC1 & A/C-2)

SIMILAR TO MITSUBISHI MSZ SERIES, 6,000 BTU COOLING, 8,700  
BTU HEATING c/w 5/8" DRAIN LINE, 3/8" VAPOUR, 1/4" SUCTION



**VENTILATION PLAN**

SCALE: 1/4" = 1'-0"